



DEVELOPMENT PERMIT NO. DP001035

0834824 BC LTD.

Name of Owner(s) of Land (Permittee)

5260 DUBLIN WAY

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 2, SECTION 4, RANGE 4, WELLINGTON DISTRICT, PLAN EPP17170
(SEE PLAN AS TO LIMITED ACCESS)**

PID No. 028-876-849

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Building Elevations & Section

Schedule D Landscape Plan and Details

Schedule E Schedule D – Amenity Requirements

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

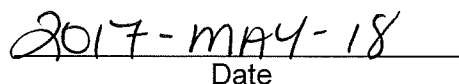
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:
 - a) *Section 16.5.6 – Size of Buildings* – to increase the maximum allowable building height from 14m to 15m.
6. The City of Nanaimo "*Development Parking Regulations Bylaw 2005 No. 7013*" is varied as follows:
 - a) *Schedule 'A' – Required Number of Off-street Parking Spaces* - to reduce the parking requirement from 99 parking spaces to 80 parking spaces.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the site plan prepared by D-Architecture dated 2017-FEB-14.
2. The development is in general compliance with the elevations prepared by D-Architecture received 2017-APR-28.
3. The subject property is in general compliance with the landscape plan and specifications prepared by Victoria Drakeford Landscape Architect dated 2017-JAN-25.
4. The development is to comply with the City of Nanaimo "Zoning Bylaw 2011 No. 4500" Schedule D, Tier 1 prior to building occupancy as outlined in Schedule F of this Permit.

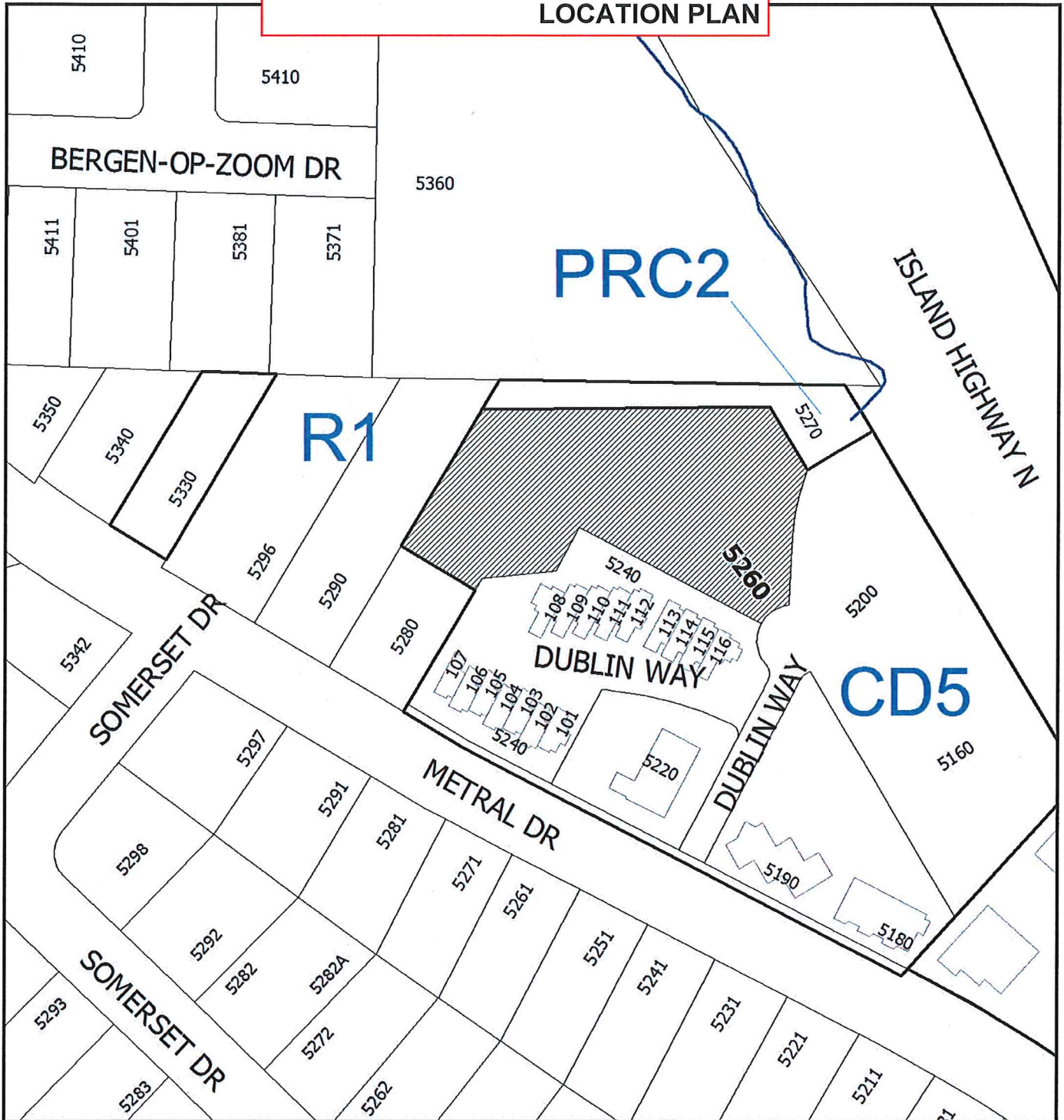
AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 15 DAY OF MAY, 2017.


Corporate Officer


Date

Development Permit DP001035 Schedule A
5260 Dublin Way

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001035



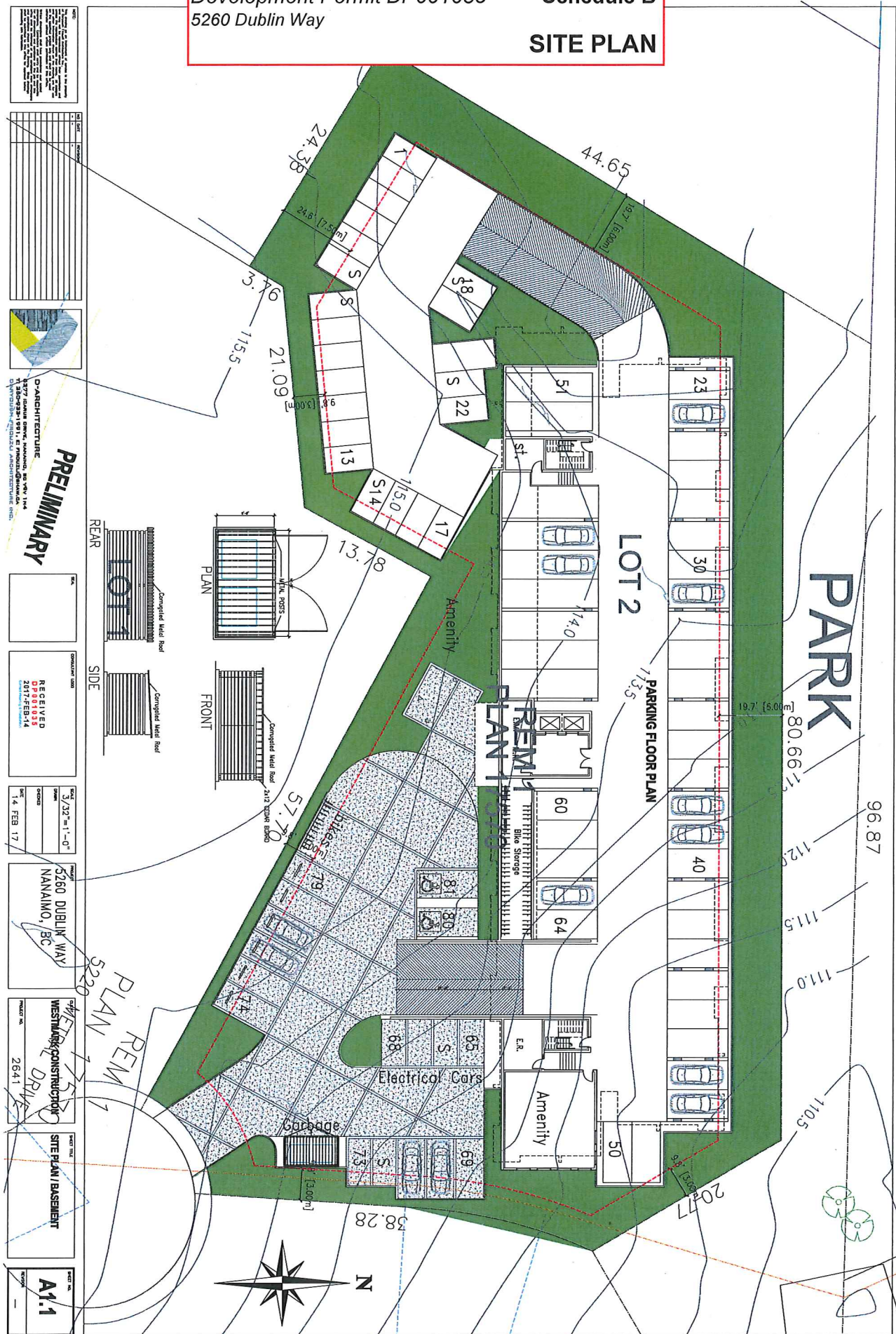
LOCATION PLAN

Civic: 5260 Dublin Way
Lot 2, Section 4, Range 4,
Wellington District, Plan EPP17170

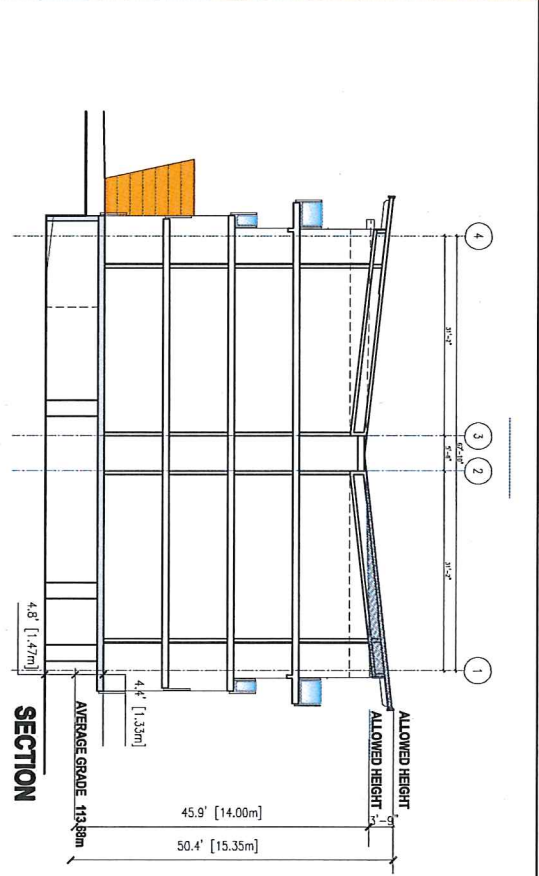
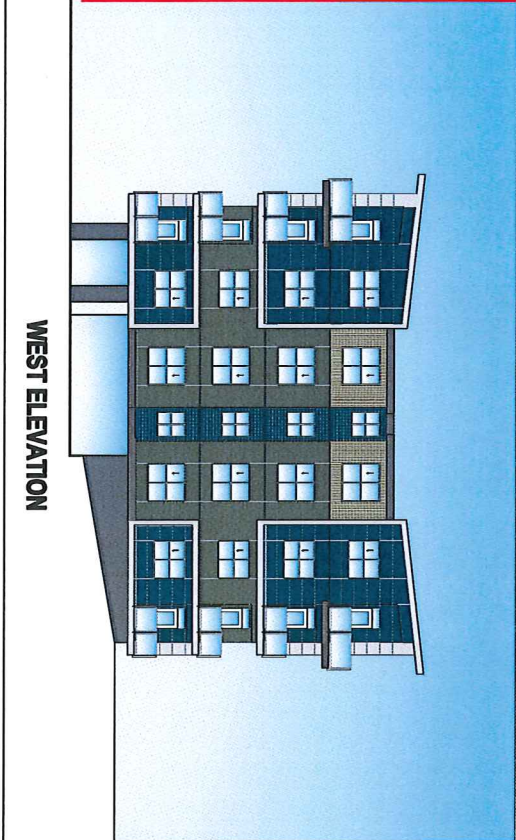
 **Subject Property**

Development Permit DP001035
5260 Dublin Way

Schedule B
SITE PLAN



BUILDING ELEVATIONS & SECTION



<p>Notes</p> <p>1. All work shall conform to the requirements of the applicable codes and standards.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and approvals.</p> <p>3. The contractor shall maintain access to all adjacent properties at all times.</p> <p>4. The contractor shall protect all existing utilities and structures.</p> <p>5. The contractor shall provide adequate site security and safety measures.</p> <p>6. The contractor shall maintain accurate records of all construction activities.</p> <p>7. The contractor shall provide regular communication and reporting to the project manager.</p> <p>8. The contractor shall ensure that all work is completed within the specified time frame.</p> <p>9. The contractor shall ensure that all work is completed to the highest quality standards.</p> <p>10. The contractor shall ensure that all work is completed in accordance with the approved plans and specifications.</p>	<p>Notes</p> <p>1. All work shall conform to the requirements of the applicable codes and standards.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and approvals.</p> <p>3. The contractor shall maintain access to all adjacent properties at all times.</p> <p>4. The contractor shall protect all existing utilities and structures.</p> <p>5. The contractor shall provide adequate site security and safety measures.</p> <p>6. The contractor shall maintain accurate records of all construction activities.</p> <p>7. The contractor shall provide regular communication and reporting to the project manager.</p> <p>8. The contractor shall ensure that all work is completed within the specified time frame.</p> <p>9. The contractor shall ensure that all work is completed to the highest quality standards.</p> <p>10. The contractor shall ensure that all work is completed in accordance with the approved plans and specifications.</p>	<p>Notes</p> <p>1. All work shall conform to the requirements of the applicable codes and standards.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and approvals.</p> <p>3. The contractor shall maintain access to all adjacent properties at all times.</p> <p>4. The contractor shall protect all existing utilities and structures.</p> <p>5. The contractor shall provide adequate site security and safety measures.</p> <p>6. The contractor shall maintain accurate records of all construction activities.</p> <p>7. The contractor shall provide regular communication and reporting to the project manager.</p> <p>8. The contractor shall ensure that all work is completed within the specified time frame.</p> <p>9. The contractor shall ensure that all work is completed to the highest quality standards.</p> <p>10. The contractor shall ensure that all work is completed in accordance with the approved plans and specifications.</p>
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PRELIMINARY

D-ARCHITECTURE
6377 DUBUQUE DRIVE, NANAIMO, BC V9Y 1A4
71-280-0231 • 781-1111 • 637-0000 • 637-0000

DATE: 30 JAN 17

PROJECT: 5260 DUBLIN WAY NANAIMO, BC

CONTRACT NO: WESTMARK CONSTRUCTION 2641

SCALE: A3.1

RECEIVED
DP001035
2017-APR-28
City of Nanaimo Planning & Development



NORTH ELEVATION

RECEIVED

DP001035
2017-APR-28
Project Review & Approval



SOUTH ELEVATION

<p>PRELIMINARY</p> <p>D-ARCHITECTURE 4577 DUBLIN DRIVE, VANANIM, BC V9V 1K4 CAMERON PROSPERO ARCHITECTURE, INC.</p>	<p>DATE: 30 JAN 17</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: 5260 DUBLIN WAY NANAIMO, BC</p> <p>CONTRACT NO: 2641</p>	<p>PROJECT: WESTMARK CONSTRUCTION</p> <p>PROJECT NO: 2641</p>	<p>PROJECT TITLE: ELEVATIONS</p> <p>PROJECT NO: A3.2</p>
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LANDSCAPE PLAN AND DETAILS

ACCESSORIES

Bollards



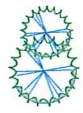
Benches



PLANT PALETTE KEY



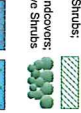
Large / Medium Deciduous Trees



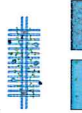
Small Deciduous Trees & Shrubs



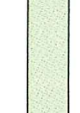
Evergreen Trees



Evergreen Hedging



Large Deciduous Shrubs



Emergent / Deciduous Shrubs:

Ornamental Grasses:
Perennials, Ferns, Groundcovers
Undersory Plants, Native Shrubs

Rain Gardens:
Bioxalis:
Detention Ponds

Vines on Trellises

Proposed Development



LANDSCAPE ELEMENTS

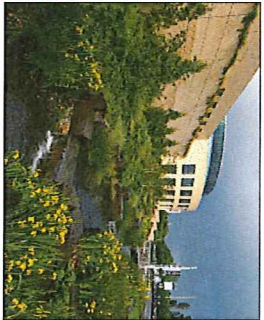
Swales



Rain garden irises



Pond dams



Paving pattern



RECEIVED
2017-FEB-21

NOTES:
For grading information, see CIVIL drawings.
See L2 for Plant List



REVISIONS:

Issued for DP - 2017Jan03
Re-Issued for DP - 2017Feb21

CONSULTANT:



PROJECT:

PACIFIC STATION

DUBLIN WAY
HAWAII, HI

SITE LEGAL DESCRIPTION:
(LOTS 1-2) SECTION 4,
WELLINGTON DISTRICT,
PLAN EPP17170

SHEET TITLE:
LANDSCAPE
OVERALL
SITE PLAN

SCALE: 1"=20'
DATE: JUN 26, 2017
DRAWN BY: VADKSHD
PROJECT NUMBER: PACIFIC STATION 2017
DRAWING NUMBER: L1-DP

SCHEDULE D - AMENITY REQUIREMENTS

Schedule D

Amenity Requirements for Additional Density

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

In order for a development to include the additional Tier 2 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in all of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

Category 1: Site selection and Connectivity (10 points required)	
Amenity	Points
The proposed development is located on a brownfield site.	7
The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	2
The proposed development is located within 200m of a park or trail network.	2
The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> * • retail store; * • daycare facility; * • Nanaimo Regional District transit bus stop; • any PRC (Parks, Recreation and Culture) Zoned property; and / or • a CS-1 (Community Service One) zoned property. 	1 point each
The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development: <ul style="list-style-type: none"> • retail store or public market; • daycare facility; • Nanaimo Regional District transit bus stop; * • any PRC (Parks, Recreation and Culture) Zoned property; • a CS-1 (Community Service One) zoned property; and / or • public art. 	1 point each, in addition to the above.
A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.	2

This project

2 points

2 points

3 points

1 points

2 points

Total 10 points

Category 3: Parking and Pedestrian Connectivity (6 points required)	
Amenity	Points
Covered and secure bicycle storage is provide to accommodate the following number of spaces: a) multiple family residential developments: 1 bicycle space per 2 dwelling units; and b) non-residential uses: 1 bicycle space per 250m ² of Gross Floor Area for the first 5000m ² , plus one bicycle space per 500m ² of additional Gross Floor Area.	4
At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	2
The parking area within the proposed development includes at least one electric vehicle charging station.	2 +1 point for each additional electric vehicle charge station
Where the proposed development includes a place of employment, up to 5% of the parking spaces required by the City of Nanaimo "DEVELOPMENT PARKING REGULATIONS BYLAW 2005 NO. 7013" are designated as a carpool parking space and are not located more than 50m from a building entrance.	2
A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4
The proposed development includes covered and designated parking spaces for a motorized scooter to accommodate the following number of spaces: c) multiple family residential developments: 1 motorized scooter space per 15 dwelling units; and a) non-residential uses: 1 motorized scooter space per 600m ² of Gross Floor Area for the first 5000m ² plus one space per 1500m ² of additional Gross Floor Area.	2

This project

4 points

2 points

Total
6 points

Category 4: Building Materials (6 points required)	
Amenity	Points
Wood is the primary building material.	2
The proposed development uses salvaged, refurbished or reused materials; the sum of which constitutes at least 5%, of the total value of materials on the project.	3
At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC) Canada.	4
The proposed development uses materials with recycled content such that the sum of the postconsumer recycled material constitutes at least 20%, based on costs, of the total value of the materials in the project.	3
The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted on site or comingled.	1
At least 75% of the materials used in construction are renewable resources.	2

This project

2 points

3 points

1 points

Total 6 points

Category 5: Energy Management (5 points required)	
Amenity	Points
<p>The project developer has provided all of the following:</p> <ul style="list-style-type: none"> a) the City with an energy model in compliance with the ASHRAE 140-2007 Standard for Energy Modeling, specifying carbon emissions per kilowatt hour and minimum ASHRAE 90.1 2007 Energy Standard; and b) letter from an electrical or mechanical engineer stating that the project has complied to the ASHRAE 90.1 2007 Energy Standard; and c) letter of credit for 1% of construction costs, prior to the issuance of a building permit, to be returned upon successful provision of all of the above to the satisfaction of the Manager of Building Inspections or designate. 	5